

**This application is not a permit until fees are received and drawings/plans (if applicable) are approved. Any work prior to permit issuance is prohibited. Permits are non-transferable and Fees are Non-Refundable! All permit applications are to be completed and submitted through the BS&A Online Permitting Portal:**

<https://bsaonline.com/?uid=2757>

PROJECT ADDRESS:

Unit/Suite/Apt#:

Parcel:

Residential  Commercial

Select All that Apply:

- A.  Carport
- B.  Covered Patio
- C.  Deck
- D.  Dormer / Gable
- E.  Gazebo
- F.  Pergola
- G.  Porch
  - a.  Enclosed
- H.  Ramp
- I.  Steps
- J.  Other

Project Description / Full Scope:  
(Required):

Value of Job (Required):

**Information**

**This permit requires a 5-business plan review! (See [Plan Review Process](#))**

Submit with application a site plan showing:

- 1) street
- 2) orientation of house or structure
- 3) location of existing and/or new project area
- 4) the site plan should include property lines, dimensions of driveway or affected area and setbacks from property line.
- 5) construction details with an elevation view (if necessary)

(see Attached SafeBuilt Plans Guide)

**What's Next:**

1. [Setup Online Account](#)
2. Click **Apply for a Permit**

▲ Building Department

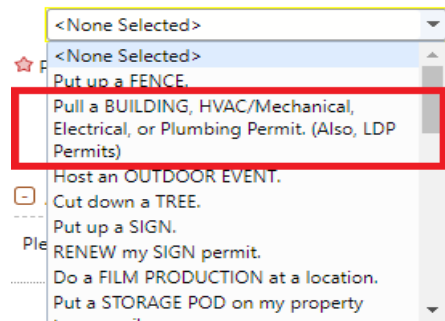
**Apply for a Permit**

3. Input Address, select and click Next.
4. For the question, "What would you like to do?", select **Pull a Building, HVAC, etc..**

**Step 2: Enter Permit Details**

Use the drop down to assist with selecting the correct permit category. After choosing the type of submittal desired, typically you will see a list of options. For Building Permits, when asked for Construction Value, select the appropriate value.

★ What would you like to do?



5. Choose Res Deck or Com Deck.
6. Select Permit Category, input description, enter total project square footage, input Construction Value and click Next.
7. Finish with the submittal process.
8. When application is reviewed and accepted, a request for payment will be sent. After payment of invoice, plan review will start ([See Plan Review Process.](#))

APPLICATION INFORMATION

<b>Who is the PERMIT HOLDER – the person responsible for, will supervise <i>and do the work</i> for this permit: (Reference the <a href="#">“Who Can Pull a Permit document and Required Credentials”</a>)</b>		
<input type="checkbox"/> <b>Homeowner / Property Owner</b> <ul style="list-style-type: none"> <li>• Tax Bill and/or Deed filed with County Required</li> <li>• Stated Issued ID Required</li> </ul>	<input type="checkbox"/> <b>Contractor</b> (if To Be Determined please check <input type="checkbox"/> ) <ul style="list-style-type: none"> <li>• Current Business License Required</li> <li>• Copy of State Certification (if applicable) Required</li> <li>• State Issued ID Required</li> </ul>	
<p><b>The signature below is a binding statement that the permit holder will be responsible for and supervise the job at the permitted address and that the Property Owner is aware of, agrees with and has granted permission for this permit to be applied for and issued.</b></p>		
Signature of Permit Holder (or agent): _____ Date: _____		
<b>Who is submitting this application:</b> <input type="checkbox"/> Property Owner <input type="checkbox"/> Contractor <input type="checkbox"/> Designer / Engineer / Architect <input type="checkbox"/> Permit Expeditor <input type="checkbox"/> Agent for Permit Holder		
<b>AGENT FOR PERMIT HOLDER: (All Contact Information Required! <a href="#">Authorized Agent Form</a> required!)</b>		
Name:		Phone:
Address (Physical / No PO Boxes):		
City:	State:	Zip:
Email:		
<b>PROPERTY OWNER: (REQUIRED – APPLICATION WILL NOT BE ACCEPTED WITHOUT PROPERTY OWNER'S INFORMATION!)</b>		
Name:		Phone:
Address (Physical / No PO Boxes):		
City:	State:	Zip:
Email:		
<b>CONTRACTOR: (All Contact Information Required - if To Be Determined, please check <input type="checkbox"/>)</b> <b>If contractor is to be determined, an ‘ASSIGNING CONTRACTOR TO PERMIT AFTER SUBMISSION’ form must be submitted with updated information and signatures before permit can issued.)</b>		
<input type="checkbox"/> <b>State Certified Contractor</b>	<input type="checkbox"/> <b>Specialty Trade</b> (Roofer, Concrete, Siding, Sheetrock, Fence, Windows, etc...)	
Name:		Phone:
Company Name:		Phone (Company):
Address (Physical / No PO Boxes):		
City:	State:	Zip:
Email:		
Business License #:		State Card # (if applicable):
<b>DESIGNER / ENGINEER / ARCHITECT / PERMIT EXPEDITER (If applicable):</b>		
<input type="checkbox"/> Designer <input type="checkbox"/> Engineer <input type="checkbox"/> Architect <input type="checkbox"/> Permit Expediter		
Name:		Phone:
Company Name:		Phone (Company):
Address:		
City:	State:	Zip:
Email:		

CONTACT INFORMATION



**WHAT YOU NEED TO APPLY  
FOR A BUILDING PERMIT:**

- Site Plan - Page 2
- House Attachment - Page 3
- Footings - Page 4
- Cross-Section Deck Plan - Page 5
- Permit Application



**DID YOU KNOW?**

- ✓ As “owner-builder” you are the responsible party of record on such a permit. If your work is being performed by a contractor, you may protect yourself from possible liability if the contractor applies for the proper permit in his or her name
- ✓ If you plan to do your own work, including all of the trade work then you may apply for the permit
- ✓ Frequent practices of unlicensed contractors is to secure an “owner-builder” building and trades permits, erroneously implying that the property owner is providing his or her own labor and material personally
- ✓ It would benefit you to hire a licensed contractor to perform the trade work
- ✓ Permits are valid for work to begin within six months

**Why Do I need a Permit?**

There are many important reasons to obtain building permits and to have inspections performed for your construction project.

**Protects property values**

Your home is typically your largest investment. If your construction project does not comply with the building codes, your investment could lose value. If others in your neighborhood make unsafe or substandard changes to their homes, it could lower the resale values for the entire community.

**Saves Money**

Homeowners insurance policies may not pay for damages caused by work done without permits and inspections.

**Makes Selling Property Easier**

Listing associations require owners to disclose any home improvements or repairs and whether permits were obtained. Many financial institutions will not finance a purchase without proof of a final inspection. If you decide to sell a home or building that has had modifications without a permit, you may be required to tear down the addition, leave it unoccupied or do costly repairs.

**Improves safety**

Your permit allows the building department to inspect for potential hazards and unsafe construction. By ensuring your project meets the minimum building code standards of safety, the building department can reduce the risk of fire, structural collapse and other issues that might result in costly repairs, injuries and even death. Inspections complement the contractor’s experience and act as a system of checks and balances that can result in a safer project.

**It’s the Law**

Permits are required by Ordinance. Work without a permit may be subject to removal or other costly remedies.

**TIPS ON HIRING CONTRACTORS**

- ✓ Hire only licensed contractors.
- ✓ Get at least 3 bids.
- ✓ Get 3 references, and ask to see a project.
- ✓ Get it in writing, but before you sign the contract, make sure you completely understand.
- ✓ Do not make final payment until you have received a Certificate of Occupancy (CO) and until you are satisfied.
- ✓ Have the contractor apply for the required permits.

## WHAT IS A SITE PLAN?

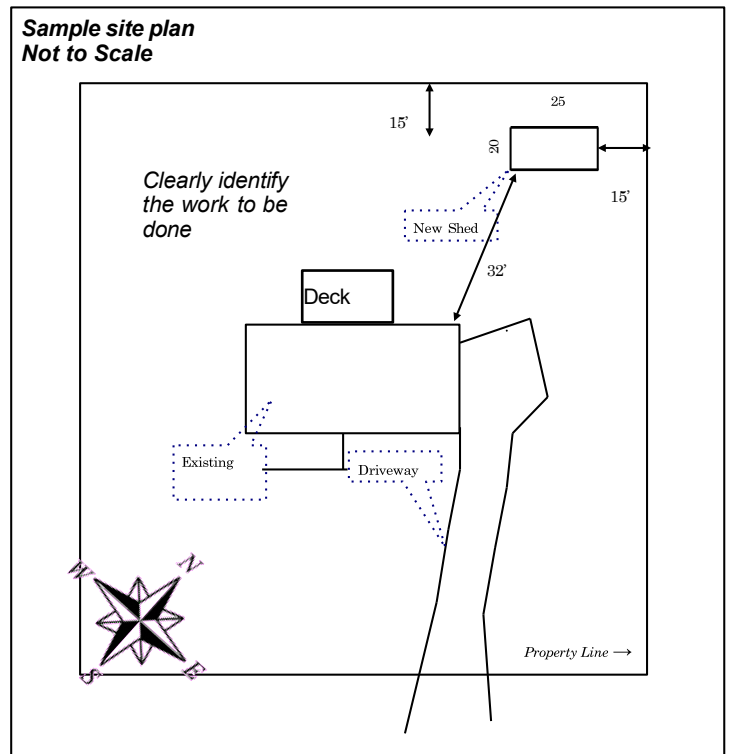
A site plan is a detailed drawing of your property, also known as a survey of your land. These are usually drawn by a land surveyor. The site plan will show the dimensions of your project and its relationship to existing setbacks, easements, utilities, other structures on the property, and distance to your property lines. If your project will require moving any utilities (gas, water, sewer/septic, electric, etc.), show where those utilities will be relocated.

### What is REQUIRED for a Permit?

- Provide copies of the SITE PLAN

#### Notes:

1. Structures shall not be permitted to be built over setback lines, easements, or property lines. Check with your local zoning department for any location or size restrictions.
2. A survey from a registered land surveyor will be required if your project is located in a protected area.
3. An as-built survey is required if the structure is proposed within 12 inches of a required minimum setback.
4. If your property is on a slope, you may be required to install silt fence to keep the dirt on your property.
5. If you are on a septic tank, you will be required to have approval from the county health department prior to issuance of a permit.
6. If you do not know the location of your utilities, contact the Utility Notification Center. Remember to ask them about the cost of this service.



## CONSTRUCTION DETAILS

### What is REQUIRED for a Permit?

Provide copies of a DECK PLAN (cross-sectional drawing showing):

- Footing dimensions
- Column dimensions
- Attachment details

Spans of joists, beams, decking, footings and dimensions of all material

#### NOTES:

1. Unless noted otherwise, all lumber shall be grade #2 or better and shall be pressure treated ACQ or CA-B
2. All lumber in contact with the ground shall be rated as "ground contact"

3. All screws or nails shall be hot dipped galvanized or stainless steel, and nails shall be ring shanked or annular grooved
4. All connectors shall use nails for attachment
5. Ledger fasteners shall be spaced per table R 507.9.1.3(1)
6. Stairways shall be not less than 36" in width
7. Conditions which do not meet these details will require a plan submission
8. Decks shall be constructed in accordance with the International Residential Code

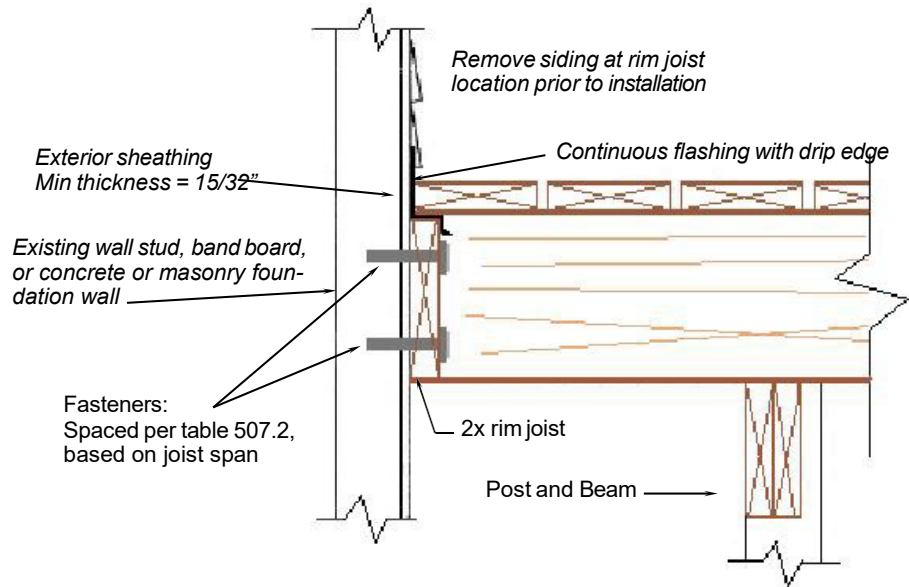
The purpose of this guide is to assist you in the permitting process. This handout is intended to cover information for a basic plan submittal and typical project under the building codes. It is not intended to cover all circumstances. Depending on the scope and complexity of your project, additional information may be required. Discuss your project with city staff to determine if it is subject to additional requirements.

## CONSTRUCTION DETAILS: ATTACHING TO THE HOUSE

Correctly attaching your new deck to your existing home is critical to preventing collapses. A common issue that can cause deck failures and loss of life are decks that pull away from homes because of missing or inadequate house attachments.

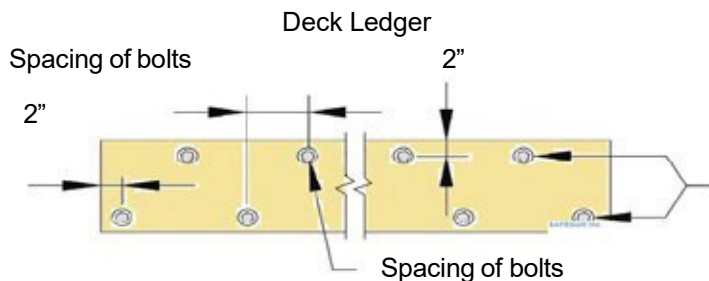
### Cross-section

Attach the deck rim joist to the existing house exterior wall as shown. The wall must be sheathed with a minimum 15/32" structural panel sheathing. Use non-corrosive lag screws or through-bolts when fastening to an existing band board or wall stud; use expansion anchors or epoxy anchors when fastening to concrete or masonry. Fasteners shall be spaced per table 507.2, based on joist span. Fasteners shall be spaced per table R 507.9.1.3(1) based on the joist span.



Sample attachment detail

## POSITIVE CONNECTIONS: FASTENER SPACING



### Notes:

1. The maximum gap between the face of the ledger board and face of the house band joist shall be 1/2-inch (13mm)
2. Ledgers shall be flashed to prevent water from contacting the house band joist
3. Bolts shall be staggered as depicted above
4. Conditions such as attachment to cantilevers or veneers will require engineer stamped approval at plan submittal

Example of correct placement of fasteners in deck ledgers (rim joists). Bolts must be placed in the deck ledgers as shown. Spacing of fasteners per table R507.9.1.3(1)

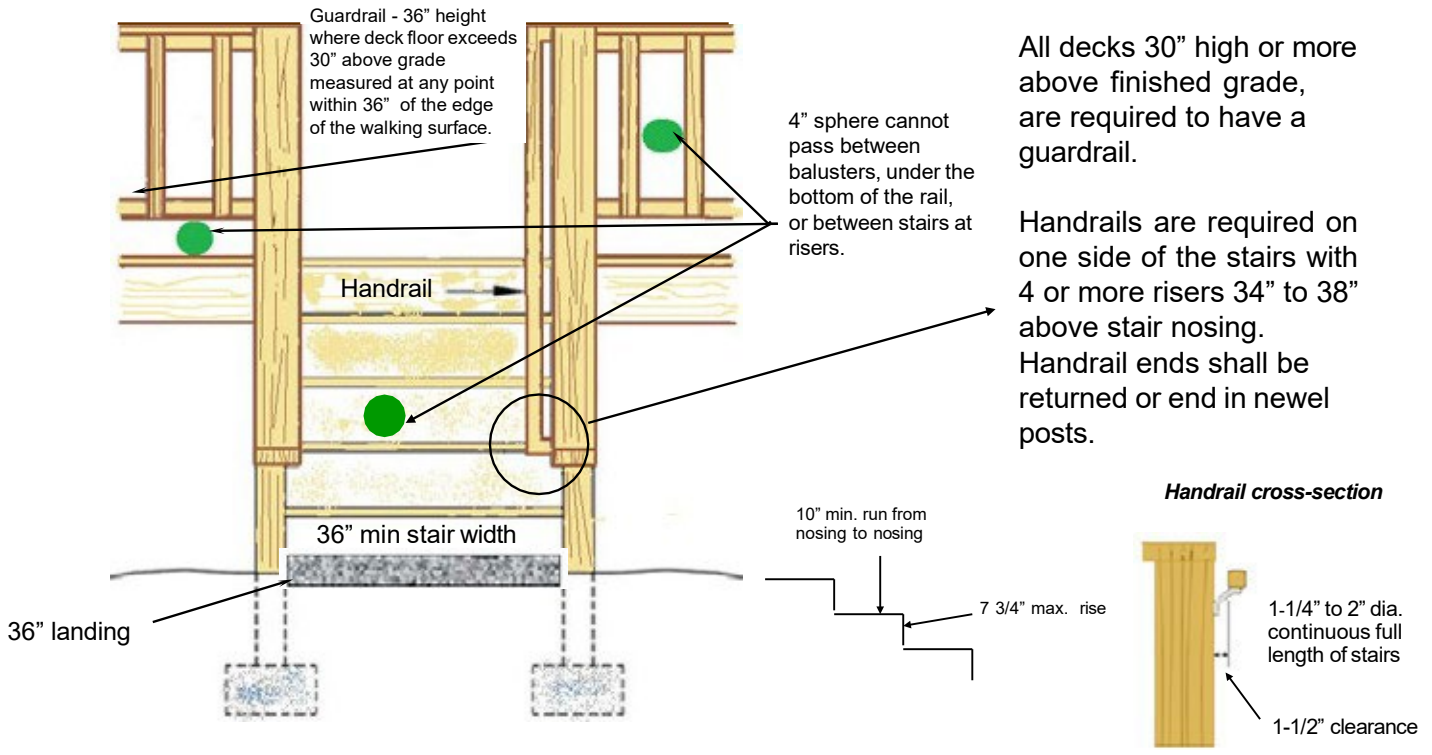
**For residential applications using the following methods a total design load of 40 psf is required:**

- Conventional framing
- Wood I-joist with rim board may require registered design professional.
- The deck ledger connection to floor truss system shall be designed & approved by the truss manufacturer's design professional.

### REMINDER:

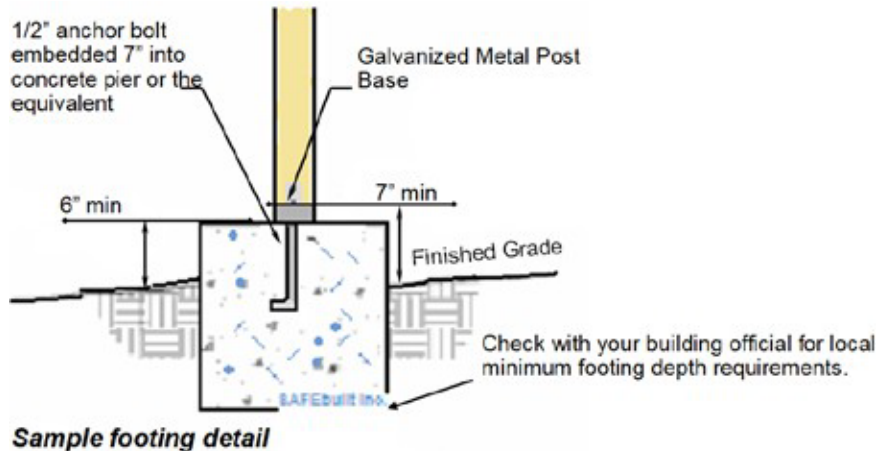
Permits are only issued after plan review. The time required to conduct this review will depend on the completeness of the information we receive in the plans.

## CONSTRUCTION DETAILS: GUARDRAILS, STAIRS, HANDRAILS



## CONSTRUCTION DETAILS: FOOTING REQUIREMENTS

The building code lists several requirements for footings based on use of the deck (loads) and soil conditions. At a minimum, footings shall be at least down to the frost depth for your location. Check with the building department for specific depths required. Additionally, the deck posts must be attached to the footing according to code to prevent lateral movement and uplift (wind and cantilevered forces). Deck posts must also be either a natural decay-resistant or preservative-treated wood and supported by a metal pedestal projecting 1" above the concrete and 6" above exposed earth to prevent moisture rot.



## ADDITIONAL INFORMATION

### What will the building inspector look at?

A typical deck project will require the following inspections:

1. Footings: Foundation inspections shall be made after trenches are excavated, reinforcement steel is in place, forms erected, and PRIOR to placing of concrete
2. Framing Inspection: Inspection of the rim board attachment, floor joist, beams and hangers prior to finished flooring being applied.
3. Final: Inspection made AFTER the deck is completed

### HOW DO I SCHEDULE A REQUIRED INSPECTION?

**Please schedule your inspection via the BS&A portal.**

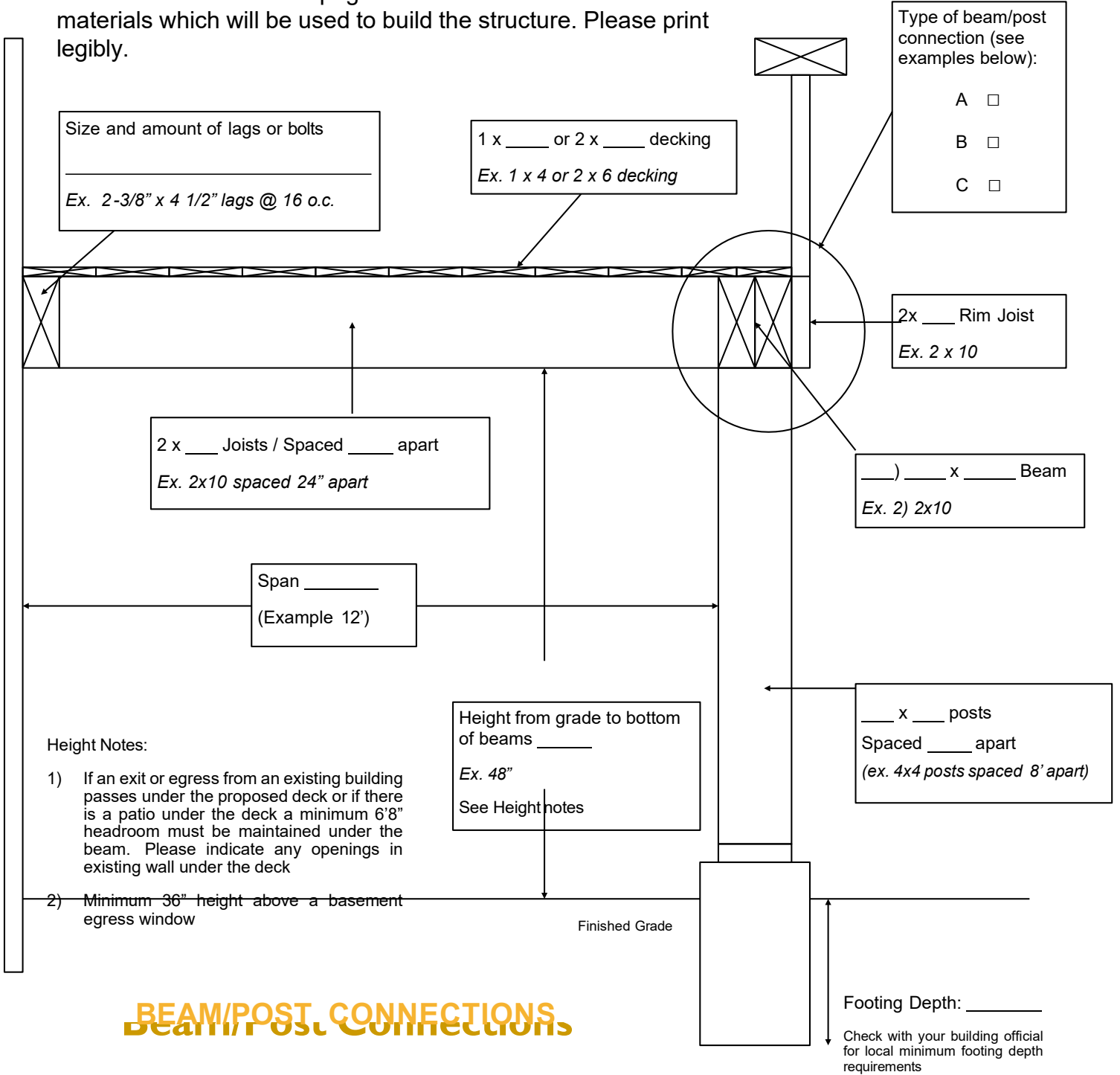
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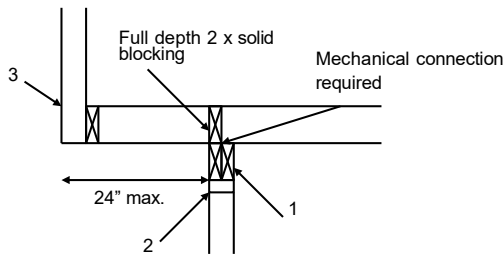
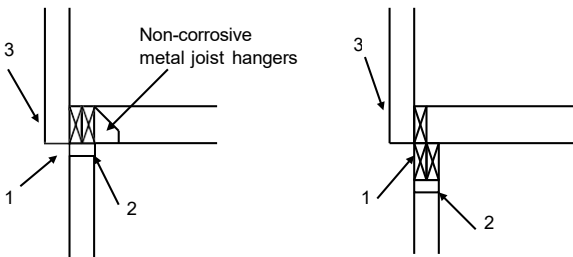
# CONSTRUCTION DETAILS: CROSS SECTION OF DECK PLAN

## Directions:

Fill in ALL blanks on this page with the dimensions and materials which will be used to build the structure. Please print legibly.



## BEAM/POST CONNECTIONS



- 1) Beam splices to occur over posts with 1 1/2" bearing
- 2) Non-corrosive metal post/beam connector
- 3) Lag or carriage bolt railing to beam

Type A

Type B

Type C



## WHAT YOU NEED TO APPLY FOR A BUILDING PERMIT:

- Site Plan - Page 2
- House & Post Attachment - Page 3
- Footings - Page 4
- Pergola Information - Page 4
- Cross-section Patio Cover- Page 5
- Permit Application



## DID YOU KNOW?

- ✓ As “owner-builder” you are the responsible party of record on such a permit. If your work is being performed by a contractor, you may protect yourself from possible liability if the contractor applies for the proper permit in his or her name
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Your permit allows the building department to inspect for potential hazards and unsafe construction. By ensuring your project meets the minimum building code standards of safety, the building department can reduce the risk of fire, structural collapse and other issues that might result in costly repairs, injuries and even death. Inspections complement the contractor’s experience and act as a system of checks and balances that can result in a safer project.

### It’s the Law

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## TIPS ON HIRING CONTRACTORS

- ✓ Hire only licensed contractors.
- ✓ Get at least 3 bids.
- ✓ Get 3 references, and ask to see a project.
- ✓ Get it in writing, but before you sign the contract, make sure you completely understand.
- ✓ Do not make final payment until you have received a Certificate of Occupancy (CO) and until you are satisfied.
- ✓ Have the contractor apply for the required permits.

## WHAT IS A SITE PLAN?

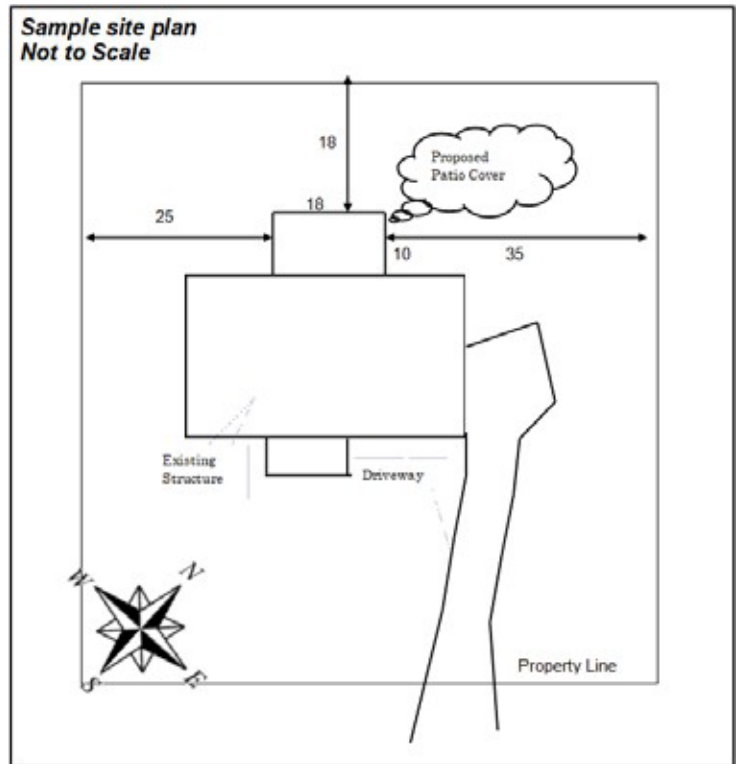
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### What is REQUIRED for a Permit?

- Provide copies of the SITE PLAN

**Notes:**

1. Structures shall not be permitted to be built over setback lines, easements, or property lines. Check with your local zoning department for any location or size restrictions.
2. A survey from a registered land surveyor will be required if your project is located in a protected area.
3. An as-built survey is required if the structure is proposed within 12 inches of a required minimum setback.
4. If your property is on a slope, you may be required to install silt fence to keep the dirt on your property.
5. If you are on a septic tank, you will be required to have approval from the county health department prior to issuance of a permit.
6. If you do not know the location of your utilities, contact the Utility Notification Center. Remember to ask them about the cost of this service.



## Construction Details

### What is REQUIRED for a Permit?

- Provide copies of a CONSTRUCTION PLAN (cross-sectional drawing showing):
  - Footing dimensions
  - Column dimensions
  - Attachment details
  - Spans of rafters & beams—roof pitch/details, and dimensions of all material

**NOTES:**

1. All lumber in contact with the ground or concrete shall be treated or rated for this use.
2. All connectors shall use nails for attachment

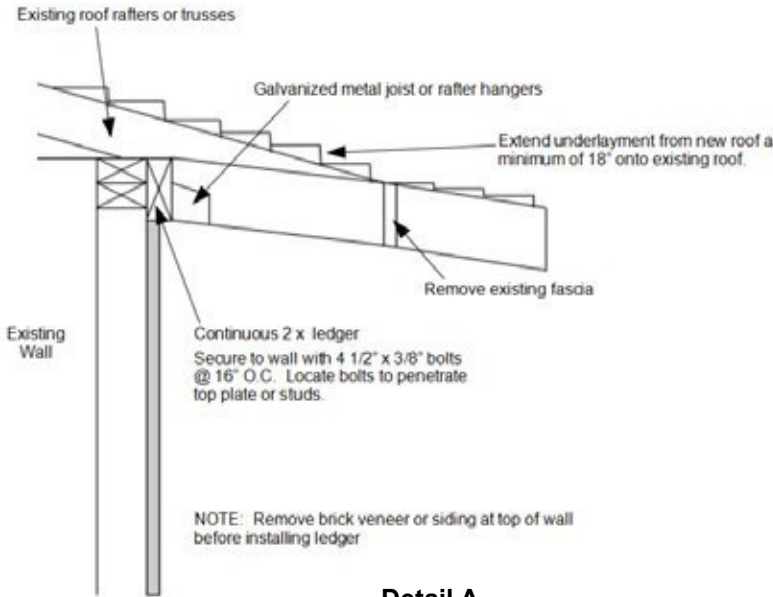
3. All screws or nails shall be hot dipped galvanized or stainless steel, and nails shall be ring-shanked or annular grooved
4. Patio Covers are limited to 12' in height maximum.
5. Conditions which do not meet these details may require a more detailed plan submission, up to and including engineer-stamped plans.
6. Patio Covers/Carports shall be constructed in accordance with the International Residential Code

**HOW DO I SCHEDULE A REQUIRED INSPECTION?**

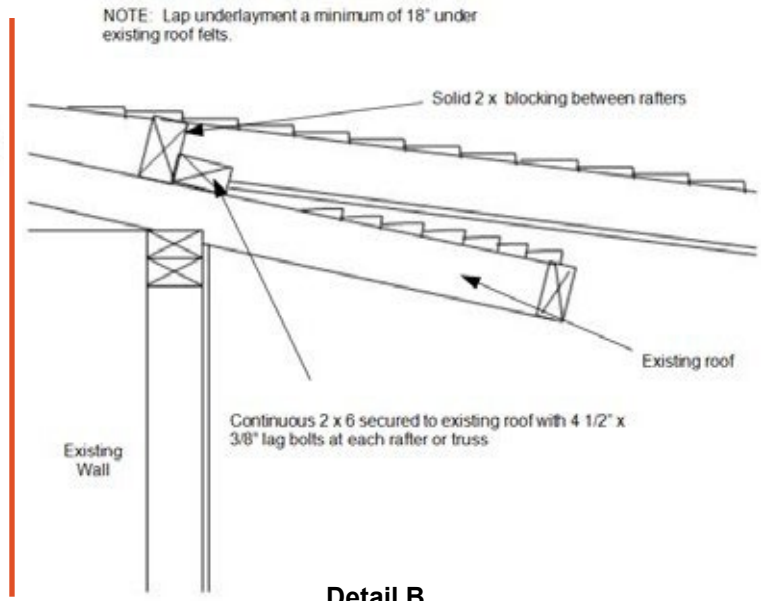
**Please schedule your inspection via the BS&A portal.**

## CONSTRUCTION DETAILS: ATTACHING TO THE HOUSE

Correctly attaching your new patio cover or carport to your existing home is critical to preventing collapses. A common issue that can cause problems are patio covers or carports that pull away from homes because of missing or inadequate house attachments.



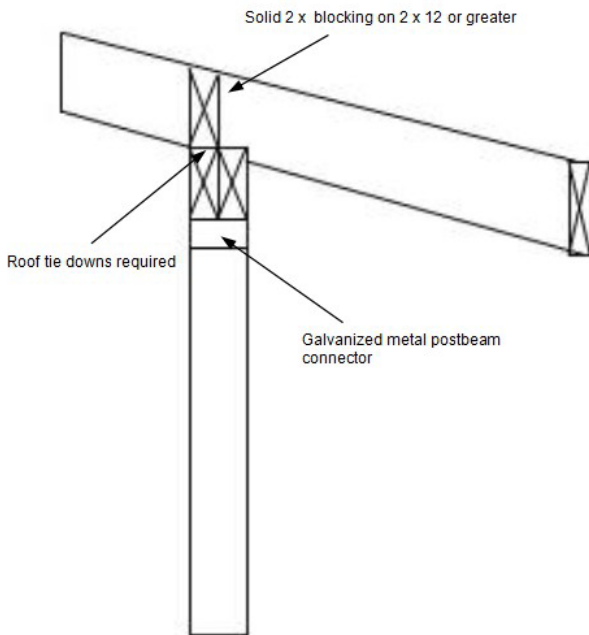
Detail A



Detail B

Sample Attachment Details

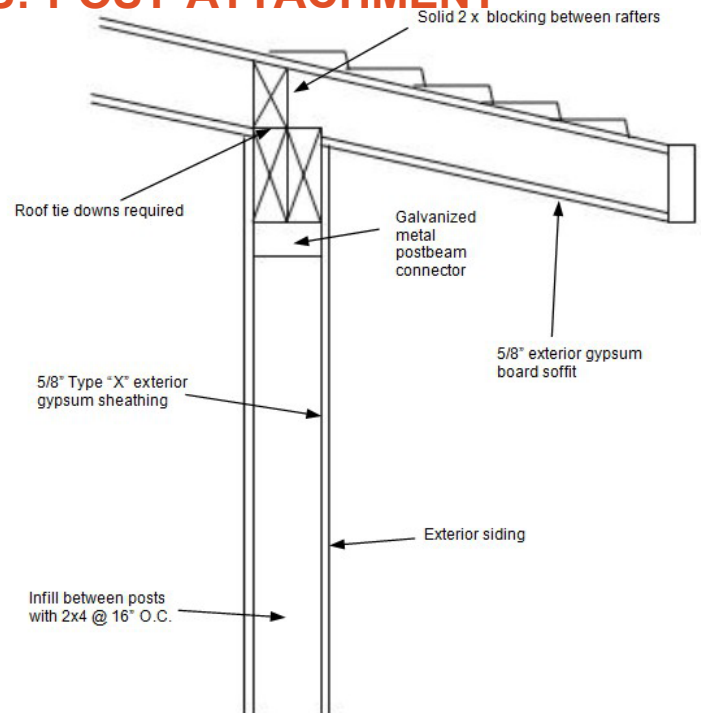
## CONSTRUCTION DETAILS: POST ATTACHMENT



Standard Post Attachment

Design loads vary due to geographic location. Check with your local SAFEbuilt office for the applied roof load in your area:

- Conventional framing must show all dimensions in submitted plans in order to verify compliance with adopted building code.
- Any truss system shall be designed & approved by the truss manufacturer's design professional. Stamped truss drawings are required on site for all inspections.



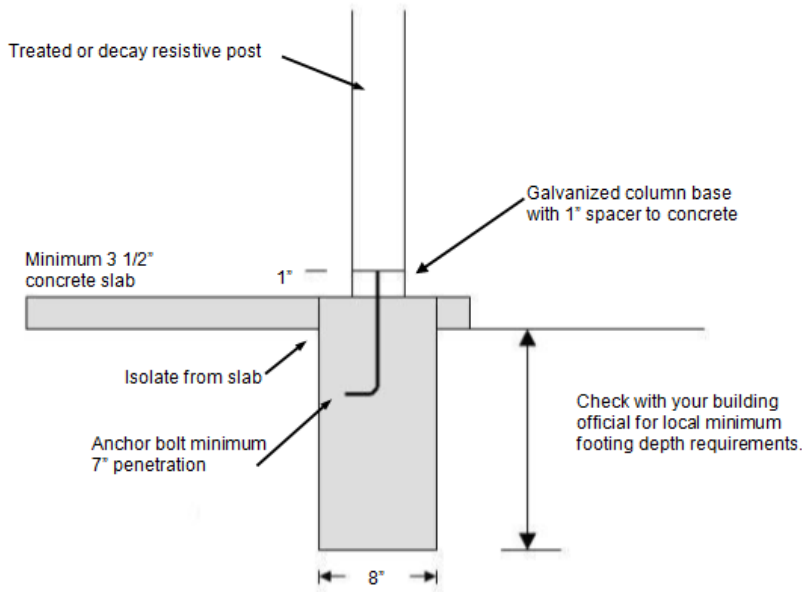
One-Hour Wall Post Attachment

### REMINDER:

Permits are only issued after plan review. The time required to conduct this review will depend on the completeness of the information we receive in the plans.

## CONSTRUCTION DETAILS: FOOTING REQUIREMENTS

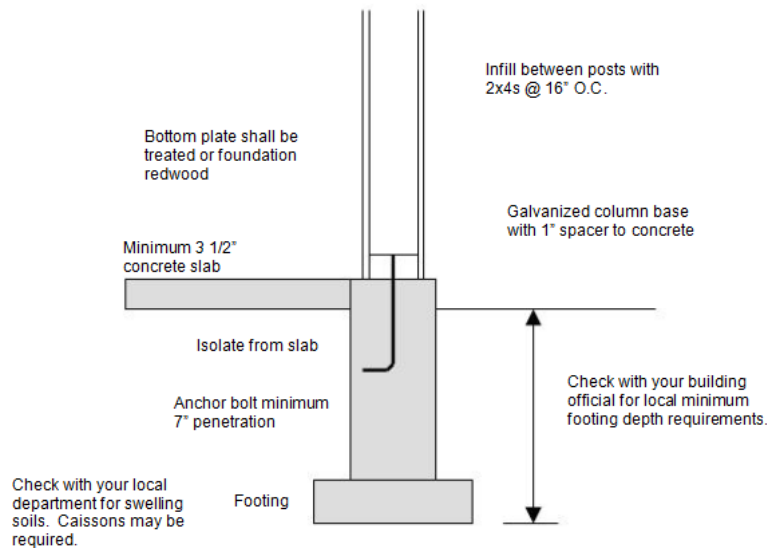
### Standard Footing Detail



The building code lists several requirements for footings based on use of the patio cover/ carport and snow load conditions. At a minimum, footings shall be at least down to the frost depth for your location. Check with the building department for specific depths required. Additionally, the posts must be attached to the footing according to code to prevent lateral movement and uplift (wind and cantilevered forces). Posts must also be either a natural decay-resistant or preservative-treated wood and supported by a metal pedestal projecting 1" above the concrete and 6" above exposed earth to prevent moisture rot.

### PERGOLAS

### One-Hour Wall Detail



Pergolas are typically not designed to require a roof load to transfer to the supporting piers or footings, thus not requiring the construction to be designed for normal roof/snow loading. Check with your local municipality to see if they require a permit for these type of assemblies. If a permit is required by your jurisdiction, please show size and location of the proposed pergola on a plot plan and include distances to the property line and any other structures on the property.

### What will the building inspector look at?

A typical patio cover/carport project will require the following inspections:

- **Footings:** Footing inspections shall be made after holes are dug, any reinforcing steel is in place/forms erected, and PRIOR to placing of concrete
- **Framing Inspection:** Inspection of the roof, truss/ledger attachment, rafter/joists, beams and hangers prior to any finished ceiling being applied. If electric is being installed for the patio cover/carport, a rough electric inspection should be called at the same time as the framing inspection.
- **Final:** Inspection made AFTER the patio cover is completed, including any final electrical.

### Want to know more? Need more help?

We hope you found the information in this guide useful. If you have any questions, please feel free to contact us.

# CROSS-SECTION PATIO COVER/CARPORT PLAN

This patio cover/carport is within 5 feet of property line:

Yes  No

If any of the sides of the carport/patio cover are closer than 5' to the property line, that side of the carport/patio cover must be enclosed with a solid 1-hour fire rated wall as shown in the construction details on pages 3 and 4. You must, however, keep at least 2 sides of a carport open to conform to the Building Code requirements. Zoning Approval is required.

DIRECTIONS: Fill in the blanks with dimensions and material which will be used to build the structure—please PRINT legibly.

Roof Covering \_\_\_\_\_ (ex. Class A 3-tab shingles)  
 Pitch \_\_\_\_\_ / \_\_\_\_\_ (ex. 4/12)  
 Underlayment \_\_\_\_\_ (ex. 2 layers of 15# felt)  
 Roof Sheathing \_\_\_\_\_ (ex. 15/32" 24-16 CDX Plywood)

\*\* Roofing is to be installed per manufacturer's instructions, including low slope application and required inspections made.

